

PART 9

LODI CENTRAL

9.01 Introduction

Lodi Central is a small historical area, centering on the intersection of Pleasant Lake and Ann Arbor/Saline Roads. It originated around the needs of early residents and travelers along these roadways and continues to serve as a focal point, within Lodi Township, containing residential, commercial, office, township government, and the Washtenaw County Farm Council grounds.

This well defined area continues to provide for the day-to-day convenience needs of residents and does not duplicate the broader shopping needs and services in the adjoining communities of the Cities of Ann Arbor and Saline or commercial areas of Pittsfield and Scio Townships. These adjoining communities currently provide, and will continue to provide, the primary general commercial services to Township residents.

Even though some additional local commercial is envisioned to take place within the defined Lodi Central area, it is not likely that this area could challenge the market dominance of existing commercial in adjacent communities, nor is it sound regional planning policy to encourage duplication of services which can result in vacant commercial space as well as unnecessary expansion of expensive infrastructure. Based upon current and projected needs of Lodi Township residents, through the year 2035, additional general commercial development is not needed beyond what is planned for Lodi Central.



9.02 Lodi Central Area

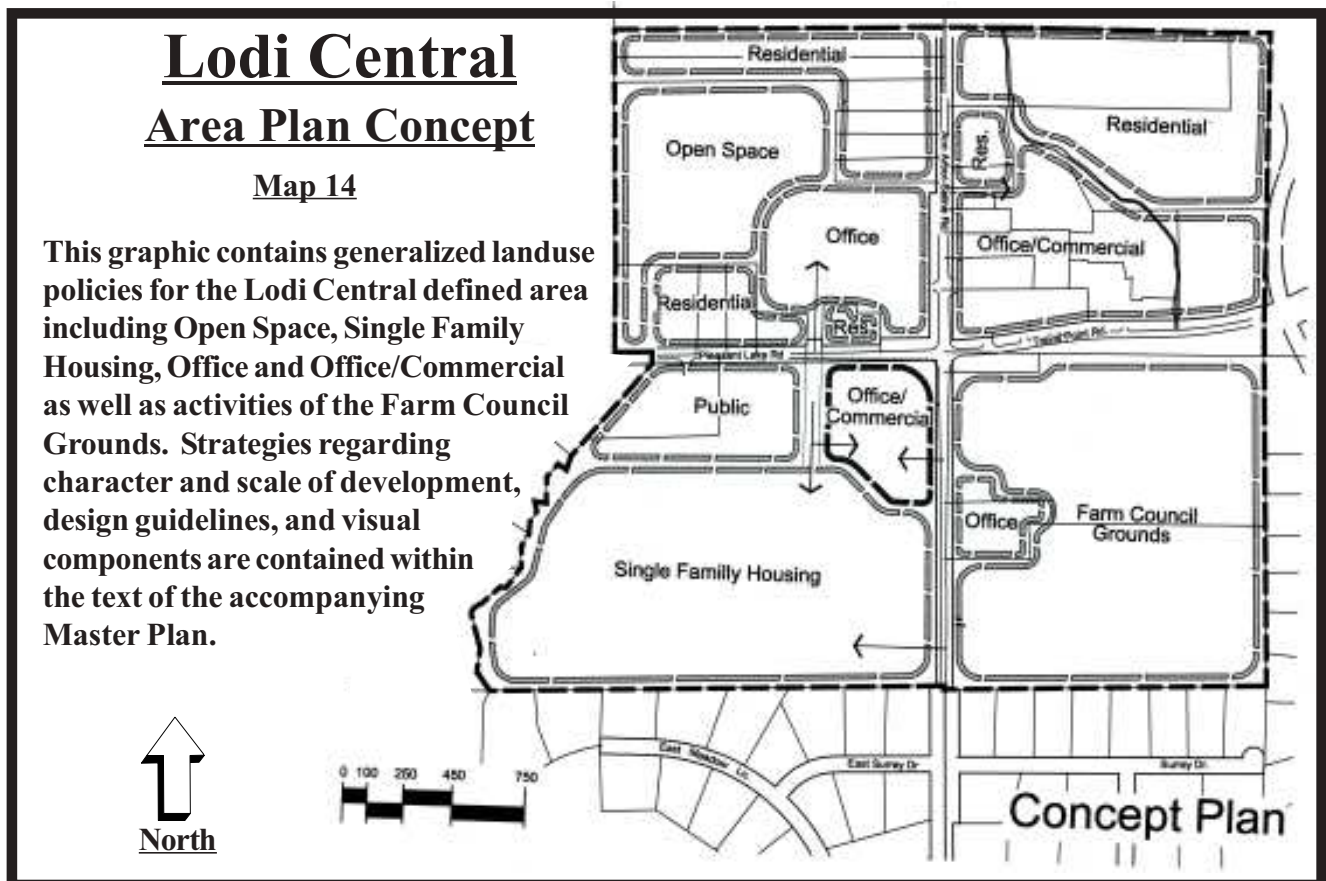
The Lodi Central area is defined by distinctive physical borders comprising existing residential parcels at the northern boundary of the area extending east to the Travis Pointe residential development, the Farm Council Grounds on the southeastern quadrant of the intersection, and open lands south of Pleasant Lake Road and west of Ann Arbor/Saline Roads extending to the existing rural residential on the southern border. The specific location and boundaries are shown on the accompanying diagram.

9.03 Concept

The physical identity of Lodi Central is designed to continue a compact and self-contained appearance that will not extend beyond the established boundaries of this area. Visual and physical techniques will be incorporated to increase the separation of transportation, land use, pedestrian orientation, and the physical limits of the defined area.

Open space and very low-density residential will be maintained at the exterior edges of the defined area, and a central spine of open spaces, public facilities, and walkways will be designed to tie the various parts of the area together. Additional commercial/office land use is intended to only take place within Lodi Central along the frontages of Pleasant Lake and Ann Arbor/Saline Roads of a nature, character, and visual perspective that is complementary of the character of Lodi Township. An internal roadway would provide access to future uses and access Pleasant Lake and Ann Arbor/Saline Roads at controlled access points.

When new development is initiated within this area, the incorporation of these policies will be a part of any proposed project.



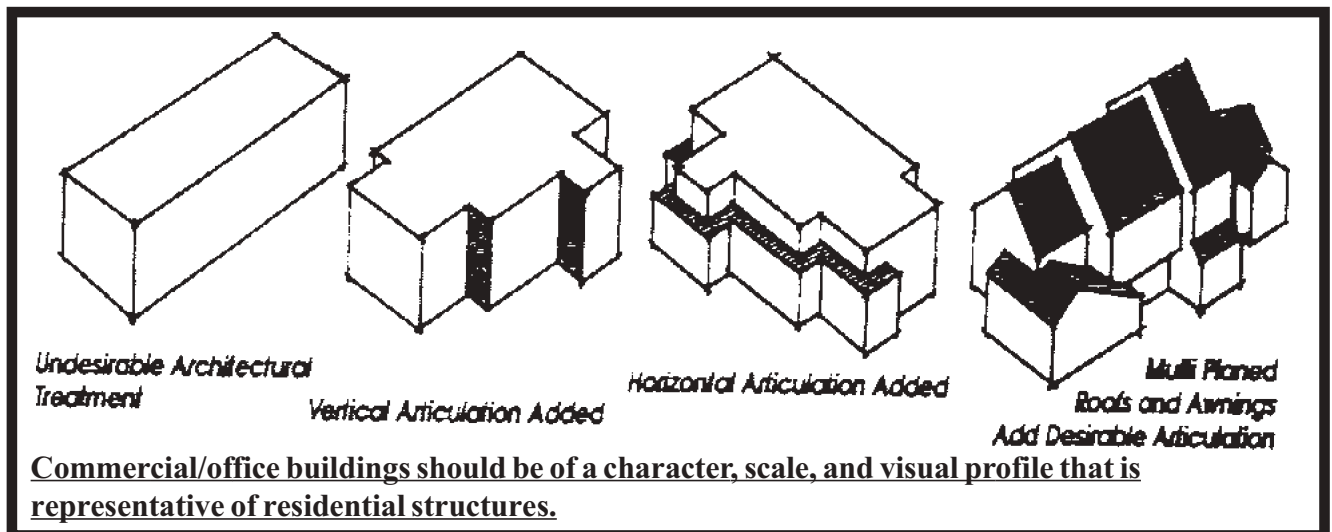
9.04 Goals, Objectives, and Strategies

Goal A - Local land uses within Lodi Central shall be physically attractive and cohesive, with a unified visual theme that conveys a sense of place and provides a positive visual impression.

Objective 1: Limit commercial/office development to the defined Lodi Central area.

Strategies

- a. Review and revise where necessary the current zoning categories within this defined area to support the Lodi Central land use concept.
- b. Establish site plan design standards within the zoning ordinance which, through the site plan review process, address the land use concepts of Lodi Central including building scale, character, and visual perspectives, landscaping requirements, pedestrian walkways, curb cuts and coordinated parking areas to ensure a cohesive character of this area.
- c. Revise zoning ordinance by stating that future commercial/office uses would be according to Planned Unit Development (PUD) procedures.



Objective 2: Small-scale, mixed-use land uses (commercial/office/residential/public) will be encouraged within the Lodi Central area as designated on the Master Plan, to provide new commercial/office, residential opportunities and increase pedestrian activity.

Strategies

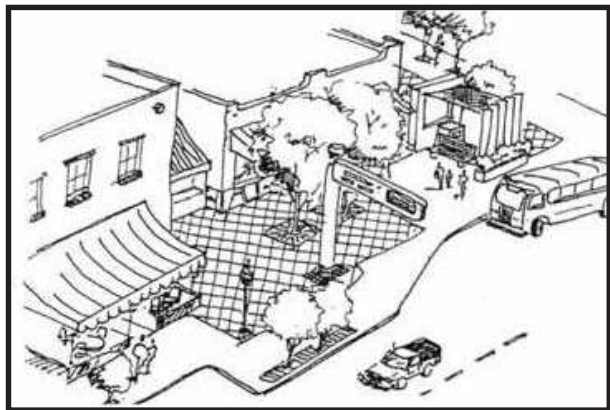
- a. Develop regulatory incentives for developments to incorporate a mixture of residential, commercial/office, and/or public uses into Lodi Central.
- b. Future developments would provide pedestrian, bicycle and open-space linkages within Lodi Central and adjacent residential areas. Linkages would all be provided to regional systems when feasible.

- c. Revise the zoning ordinance to include design standards that support a unified theme and that create a vision based upon aesthetic concepts for Lodi Central.
- d. Develop an information packet which gives information about the overall concept of Lodi Central. This could be used to introduce potential developers to the area.

Goal B: Provide an overall coordinated internal street and vehicular parking system within Lodi Central that is able to accommodate additional commercial/office, residential and public development through controlled access points onto Pleasant Lake and Ann Arbor/Saline Roads.

Lodi Central Coordination of Activities

Transportation, vehicular parking, land uses, and pedestrian pathways should be interlinked to create “people scale” design and development.



Objective 1: Maintain the scale of Pleasant Lake and Ann Arbor/Saline Roads and coordinate its relationship to the Lodi Central area.

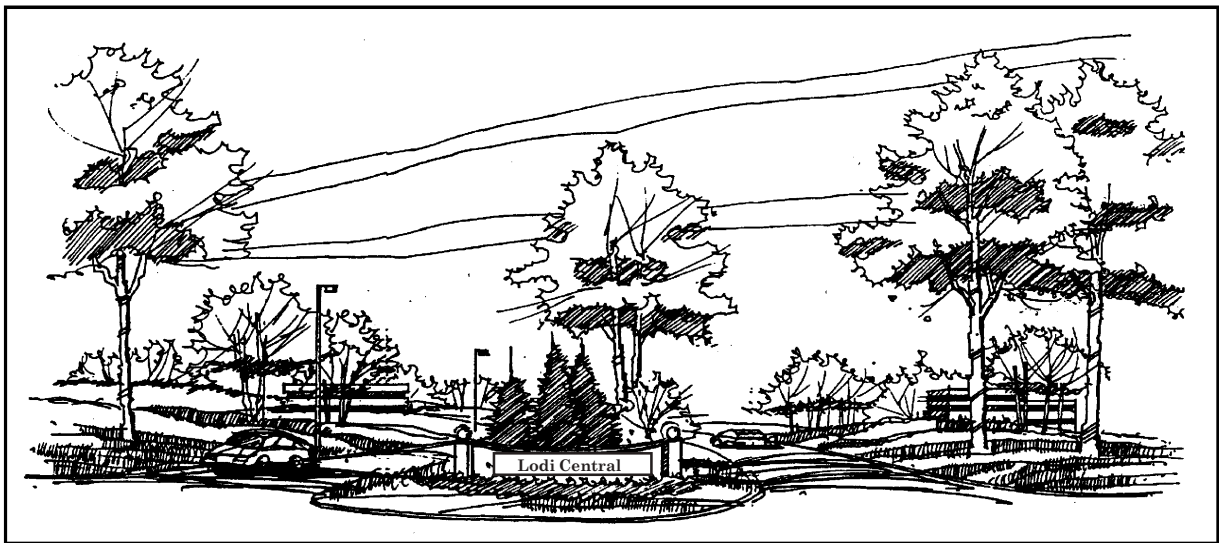
Strategies

- a. Coordinate with the Washtenaw County Road Commission the policies designated for the Lodi Central area regarding streetscape improvements. The improvements should make the area easily identifiable and include landscaping, vehicular parking, pedestrian walkways, street lighting, street furniture and signage.
- b. Create inviting streetscapes between commercial/office and residential areas that address public and private improvements such as pedestrian-friendly lighting, street tree location, limited driveways, bikeway/pedestrian walkways, signs, landscape planting areas, etc.

Objective 2: Improve the ability of Pleasant Lake and Ann Arbor/Saline Roads circulation system to handle traffic through Lodi Central.

Strategies

- a. Use internal access drives to reduce congestion and access conflicts onto Pleasant Lake and Ann Arbor/Saline Roads.



Example of main roadway entrance into southwestern portion of Lodi Central.

- b. Require rear or side access drives to connect parking lots and minimize the need to re-enter Pleasant Lake and Ann Arbor/Saline Roads for each retail business. Also, install pedestrian walkways between land uses.
- c. Develop comprehensive sign regulations for establishment/informational/directional signage for Lodi Central that are harmonious and would be designed as ground signs in landscaped areas.

Objective 3: Vehicular parking will not be the dominant feature as viewed from Ann Arbor/Saline and Pleasant Lake Roads.

Strategies

- a. Revise the zoning ordinance to provide design flexibility allowing setback requirements to be reduced that would allow buildings to be located closer to the street and sidewalk.
- b. Revise zoning ordinance to reduce non-residential or mixed use parking requirements for the “Lodi Central” area that would utilize shared or satellite parking to reduce the total number of parking spaces and to minimize impervious surfaces.
- c. Revise zoning ordinance to increase landscaping requirements for parking areas, including increasing the size of parking islands and buffers using low walls, trees, planter perimeters and other human scale features.
- d. Revise zoning ordinance to require developments to provide pedestrian linkages through landscaped parking areas, where appropriate.